
SAND CITY DESIGN REVIEW COMMITTEE

AGENDA

MEETING DATE:

Thursday, December 14, 2023
12:00 Noon

LOCATION:

Sand City Council Chambers
1 Pendergrass Way
Sand City, CA 93955

THIS MEETING WILL BE HELD VIRTUALLY AND IS COMPLIANT WITH THE GOVERNOR'S EXECUTIVE ORDER N-29-23 ALLOWING FOR A DEVIATION OF TELECONFERENCE RULES REQUIRED BY THE BROWN ACT.

TO PARTICIPATE IN THE ZOOM MEETING LIVE:

<https://us02web.zoom.us/join/84148348199>

Meeting ID 841 4834 8199

TO PARTICIPATE TELEPHONICALLY BY CALLING THE NUMBER BELOW:

IF PROMPTED TO ENTER A PARTICIPANT ID, PRESS #

How to submit written Public Comments:

If any member of the public would like to provide written comments at the meeting, please do as set forth below.

Written: All comments received before 8:00 a.m. the day of the meeting will be posted to the website as "Correspondence" under the relevant agenda item and provided to the Design Review Committee members at the meeting. Please email your comments to Planning@sandcityca.org. If you want the comment read aloud, prominently write "Read Aloud at Meeting" at the top of the email and your comments will be read into the record (not to exceed three minutes at staff's cadence).

1. CALL TO ORDER / ROLL CALL

DURING EACH MEETING, members of the public may participate by calling and speaking live during the designated time(s), subject to time limits that may be imposed pursuant to the Brown Act at the number provided above.

Committee Member Greg Hawthorne
Committee Member Elizabeth Sofer
Committee Member John Lewis
Committee Member Chris Barlow
Committee Member Paul Davis (Chairman)
Committee Member Vibeke Norgaard
Committee Member Zane Mortensen

2. COMMUNICATIONS FROM THE FLOOR

NOTE: Under Communications, any member of the public may address the Committee for a period not to exceed three minutes on an item not on the agenda that is within the Committee's jurisdiction.

A. Oral & Written Communications

3. PUBLIC HEARINGS

A. Discussion and consideration of design, materials and features of a business sign to be posted on the building in which Pj's Tile operates (1729B Holly Street, APN:011-197-006)

B. Discussion and consideration for The Independent exterior improvements including architectural design, materials, and features.

C. Discussion on update to Objective Design Standards

4. NEW BUISNESSES

A. There are no new businesses to discuss at this time

5. ADJOURNMENT

This is intended to be a draft agenda; The City reserves the right to add to or delete from this agenda as required

A member of the public may address the Committee on any scheduled agenda item as that item comes up during the meeting. Copies of Sand City agendas and background reports are available at the City Hall, City of Sand City.

AGENDA ITEM 3A



City of Sand City

STAFF REPORT

TO: Design Review Committee
FROM: Zane Mortensen, City Planner
SUBJECT: Sign permit application for PJ'S Tile
DATE: **December 14, 2023**

BACKGROUND/DISCUSSION:

Rendering for external business sign to be put up on building in which PJ'S Tile occupies at 1729 B Holly Street, Sand City (APN 011-197-006) (the "Subject Property") which is a 3,000 square-foot portion of an existing commercial building. The applicant has requested the City's review and recommendation regarding the Sign Permit Application and rendering for the business sign intended to be placed on the front of the building facing Holly Street.

CEQA:

This action does not constitute a "project" as defined by the California Environmental Quality Act (CEQA) guidelines section 15378.

FISCAL IMPACT:

RECOMMENDATION:

ATTACHMENTS:

Please number attachments in the order you wish to have them placed in the agenda packet; example below.

1. Resolution
2. Agreement



CITY OF SAND CITY PLANNING DEPARTMENT

Sign Permit Application Form

Permit No.: S _____

APPLICANT:

Name: PJS Tile & Stone Fabrication, Inc.

Mailing Address: 1729B Holly St Sand City CA 93955
Street City State Zip

Phone Number: (831) 998-0210 Fax Number (if any): () _____

Representative Name (if any): Peter Standridge

Mailing Address: _____
Street City State Zip

Phone Number: () _____ Fax Number (if any): () _____

PROPERTY OWNER:

Name: Alan G. Daoud

Mailing Address: 1613 Del Monte Blvd Seaside CA 93955
Street City State Zip

Phone Number: (831) 809-8700 Fax Number (if any): () _____

PROJECT DESCRIPTION:

1. Business Name: PJS Tile & Stone Fabrication, Inc.
2. Street Address: 1729B Holly St, Sand City Assessor's Parcel Number: 011-197-006-000
3. Building / Storefront dimension(s) 146.5"x145"
4. Will the sign be illuminated? Y / N Internal or external illumination? (Circle One)
5. Describe in detail the intended sign design: See attached documents.

Attach additional paper or illustrations if necessary.

CONSENT AND CERTIFICATION:

An application cannot be accepted without the signature of both the applicant and property owner. Failure to provide both signatures (at a minimum) may qualify this application as "incomplete".

Applicant's Attestation: I/We state that as the applicant(s) here described, I/we have read and completed this application and know the contents herein. I/We declare that the information contained in this application, the project plans, and other supporting material submitted herewith are true and correct to the best of my/our knowledge.



Signature of Applicant

06/22/23

Date

Signature of Applicant

Date

Consent of Property Owner: I/We declare that I/we am/are the current owner(s) of the herein described property, and that I/we have familiarized myself/ourselves with this completed application, and give consent to the action request.



Signature of Property Owner

6/23/23

Date

Signature of Property Owner

Date

ADDITIONAL SUBMITTAL INFORMATION:

Drawing or Illustration: A drawing or illustration, to scale, of the proposed sign shall be submitted with this application that describes the sign. The description should include (at a minimum) the following information:

- ⊕ Dimensions of the overall sign (width, depth, height)
- ⊕ Dimensions of letters, logos, or other design elements of the sign
- ⊕ Location of sign(s) on building
- ⊕ Style of lettering
- ⊕ Color scheme for sign, background, and building.
- ⊕ Sign materials (background, lettering, frame, etc.)
- ⊕ Method of lighting (if any)
- ⊕ Method of attachment to building (painted, bolted, etc.)
- ⊕ Any other relevant detailed information pertaining the proposed sign.

Location Plan & Elevations: A plan or illustration shall be submitted indicating the locations, placement, and direction all intended signs on the building, and/or property.

Seven (7) Sets of Plans: A total of seven sets of any plan and/or illustration for those items described above must be submitted in order for the application to be complete.

Fees: Applicants shall make payment of all applicable fees to the City of Sand City at the time of application submittal. Failure to pay fees will qualify an application as "incomplete".

STAFF USE ONLY:

Received by: _____

Assigned Permit #: _____

Date application submitted: _____

Date application deemed "complete": _____

Application Fees Paid: _____

Receipt Number: _____

Zoning Designation: _____

Notes: _____

DESIGNER: MARK CUSTOMER: PJS TILE

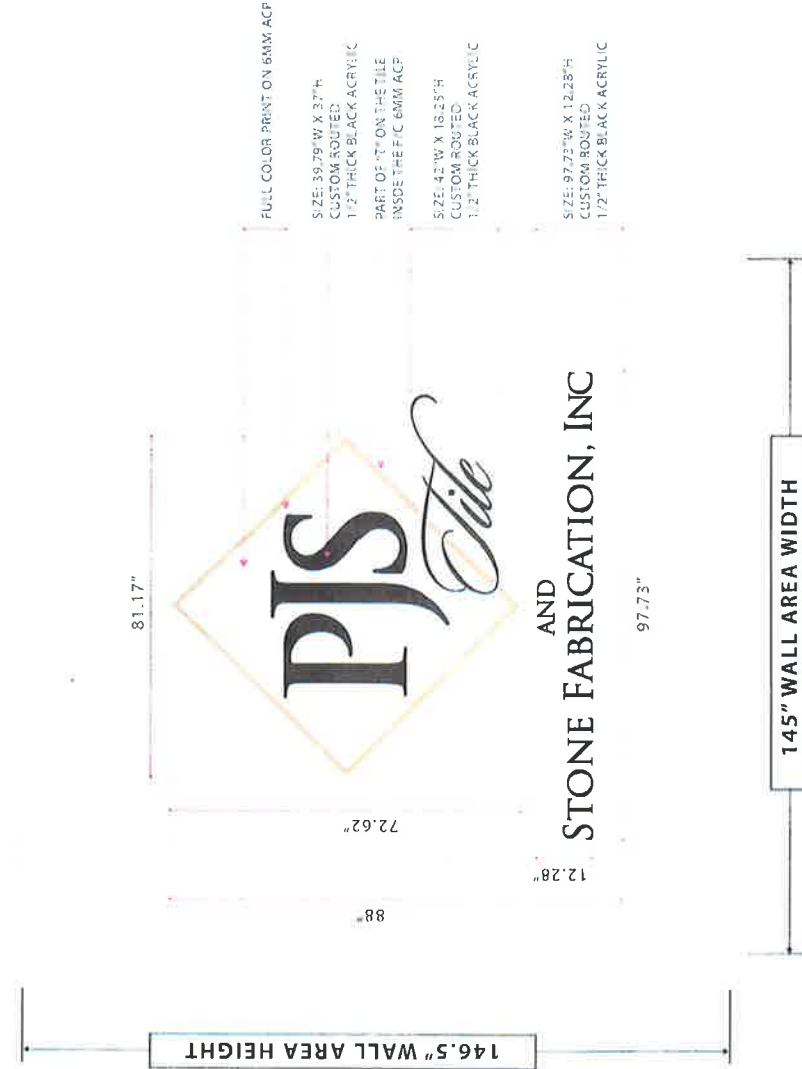
PROJECT: CUSTOM DIMENSIONAL SIGNAGE

ART PROOF

INSTALL: YES NO

TOTAL QTY. 1

97.73" W X 88"H -- 6MM ACP (ALUMINUM COMPOSITE PANEL) WITH BLACK ACRYLIC DIMENSIONAL LETTERS



BLACK ACRYLIC SAMPLE



MOCK-UP



IMPORTANT PLEASE READ:

Your signature signifies your acceptance of full responsibility for any errors, omissions, and legal and ethical compliance in this document. The DESIGNER will not be held liable for any errors overlooked during this proofing stage. Any changes made from your previously approved copy will incur additional charges based on both time and materials. ALL artwork contained in this proof is the property of Central Coast Sign and Design

OK with corrections, no further proof needed.

Signature / Date

OK as is, please proceed.

Signature / Date

EXHIBIT C
LOCATION MAP

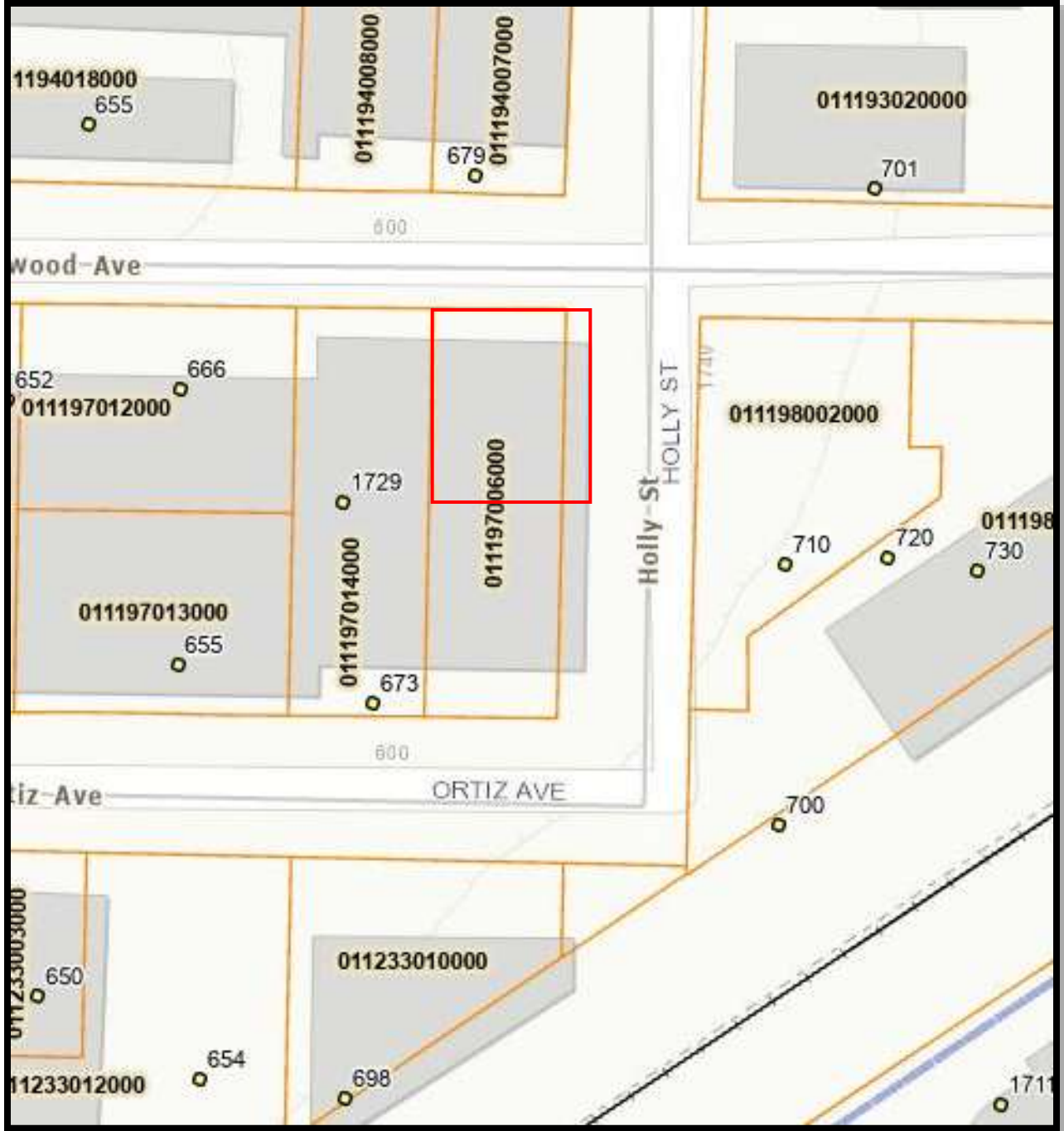


EXHIBIT D
AERIAL MAP

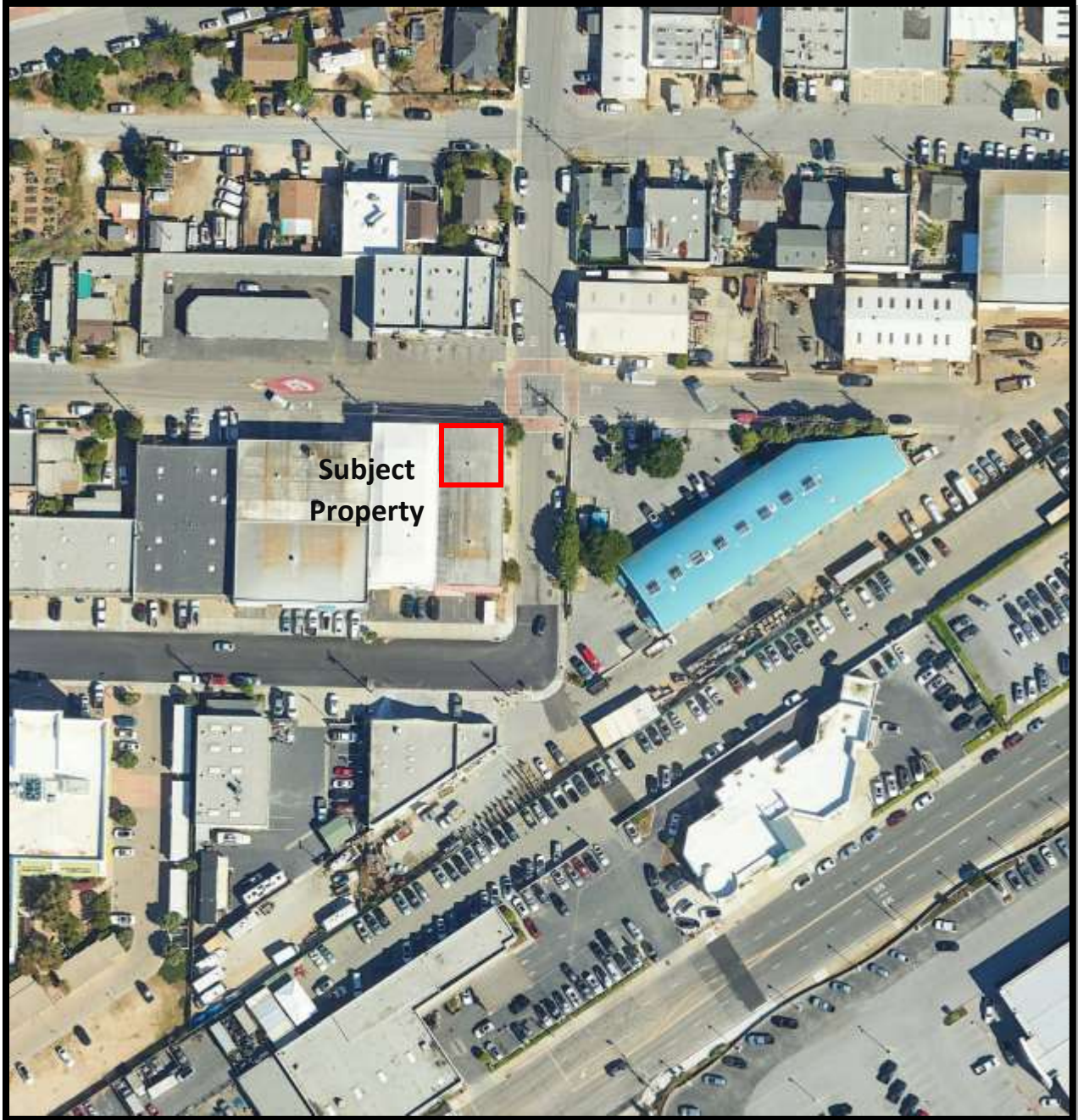


EXHIBIT E
FLOOR PLAN

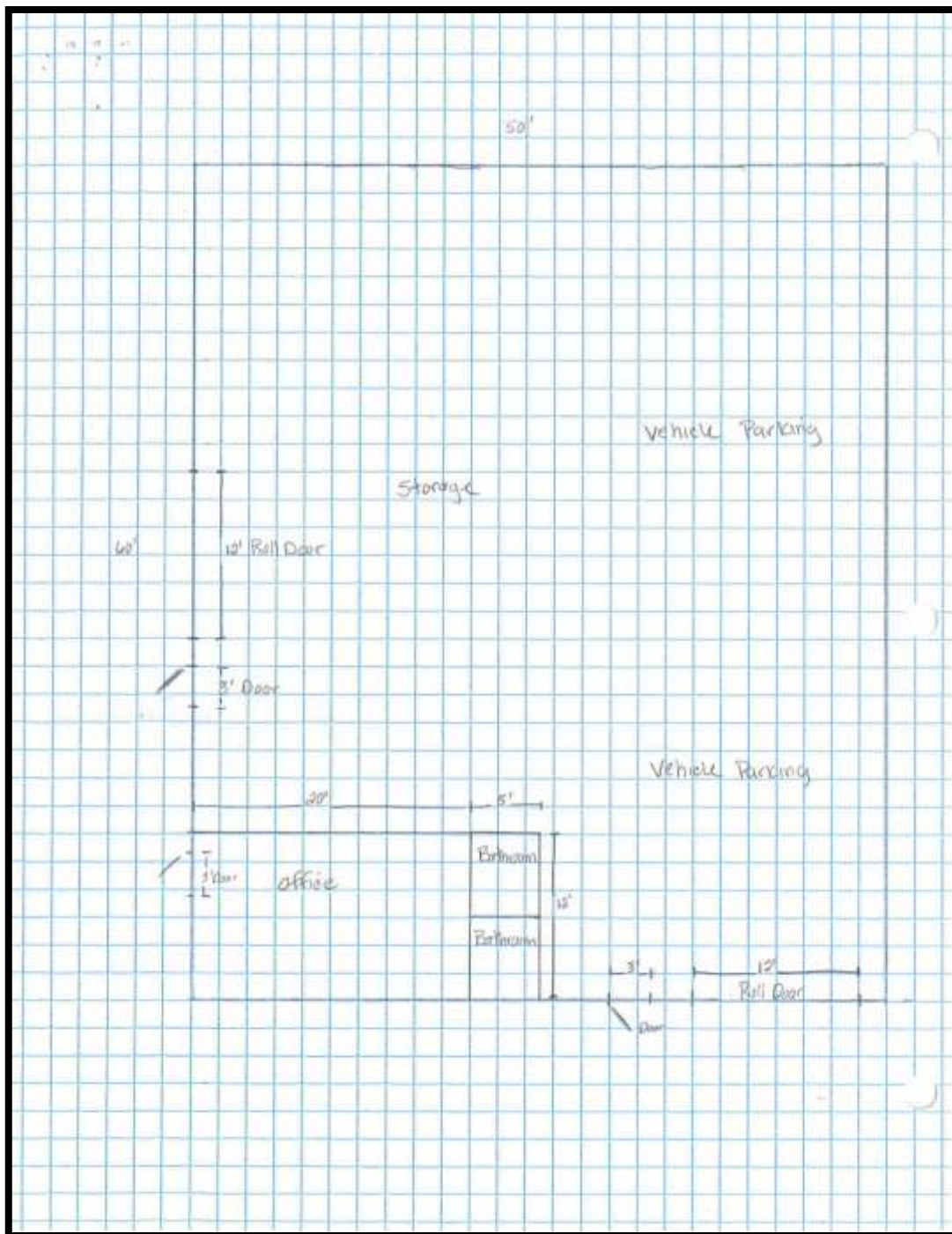


EXHIBIT F
SITE PLAN

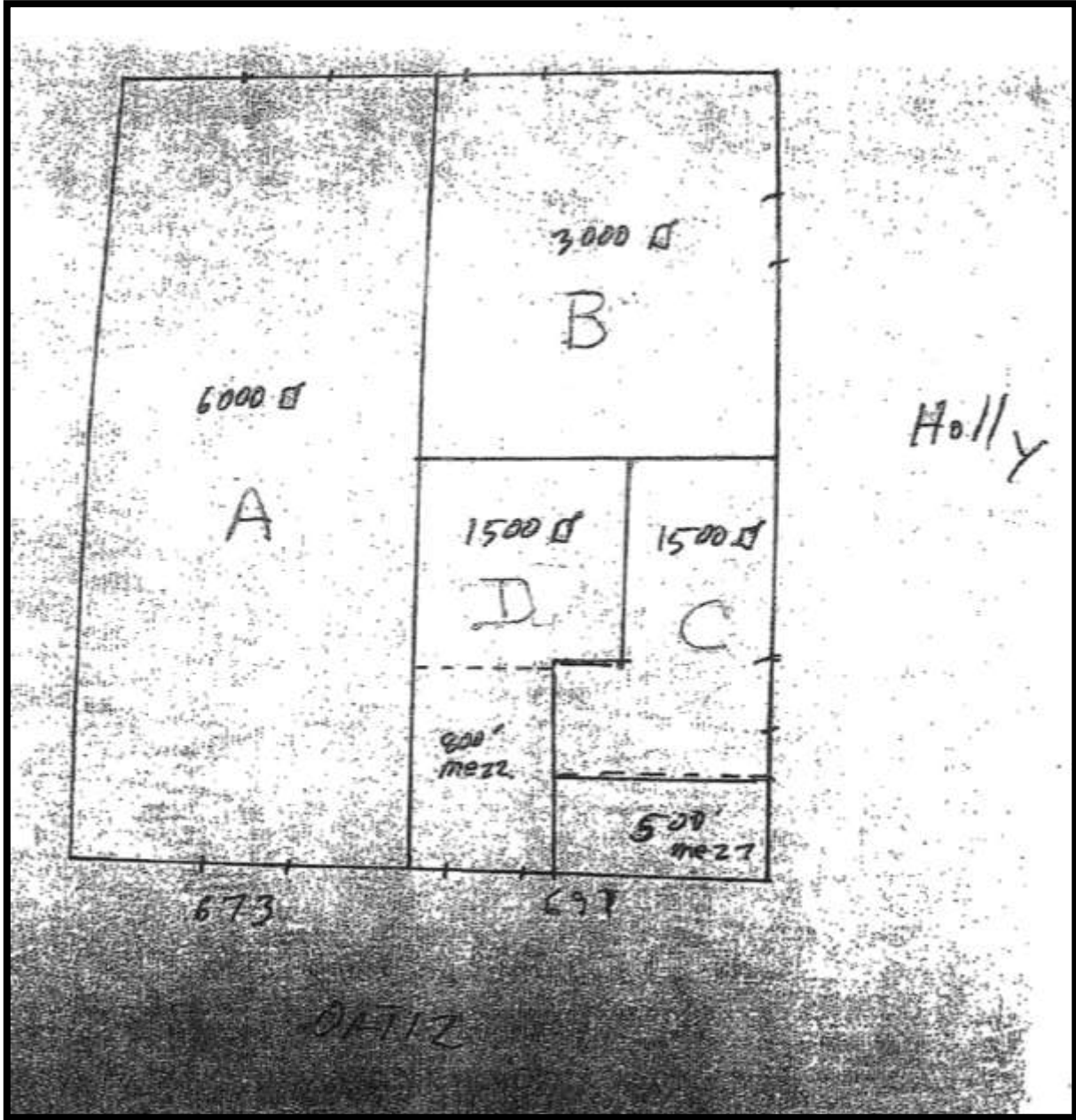


EXHIBIT G
SITE PHOTOS

Holly Street



Redwood Avenue



**CITY OF SAND CITY
RESOLUTION SC ____, 2023**

RESOLUTION OF THE DESIGN REVIEW COMMITTEE OF SAND CITY

WHEREAS, The Sand City Design Review Committee finds the Sign Application from PJ's Tile (the Applicant) is complete and visually descriptive to the intended location and overall design of the proposed business sign and;

WHEREAS, The City of Sand City Design Review Committee finds the proposed sign to be of acceptable size and design to be placed above the main entrance to the business.

NOW, THEREFORE, BE IT RESOLVED that the Design Review Committee of Sand City does hereby grant the Applicant to post the proposed sign on the business.

PASSED AND ADOPTED by the Design Review Committee of the City of Sand City this 14th, day of December, 2023 by the following vote:

AYES:
NOES:
ABSENT:
ABSTAIN:

APPROVED:

Mary Ann Carbone, Mayor

ATTEST:
DATED: _____

Kerry Lindstrom, City Clerk

AGENDA ITEM 3B



City of Sand City

STAFF REPORT

TO: Design Review Committee (DRC) Members
FROM: Zane Mortensen, City Planner
SUBJECT: Independent Building Improvements
DATE: **December 14th, 2023**

BACKGROUND:

Rendering for exterior and interior building improvements for the Independent, located at 600 Ortiz Avenue (APN 011-234-001-000) (the "Subject Property") were submitted by the property management company, BLVD residential (the "Applicant") on behalf of the property owner. The applicant has requested the City's review and recommendation regarding the proposed rendering for the building improvements.

Site Description:

CEQA:

This action does not constitute a "project" as defined by the California Environmental Quality Act (CEQA) guidelines section 15378.

FISCAL IMPACT:

RECOMMENDATION:

ATTACHMENTS:

Please number attachments in the order you wish to have them placed in the agenda packet; example below.

1. Resolution
2. Agreement



THE 
INDEPENDENT



THE 
INDEPENDENT



Paint

Pacer White
SW 7073

Network Gray
SW 7073

Software
SW 7074

Navy
SW 6244



THE INDEPENDENT



Paint

Software
SW 7074

Navy
SW 6244



THE 
INDEPENDENT



Paint

Network Gray
SW 7073

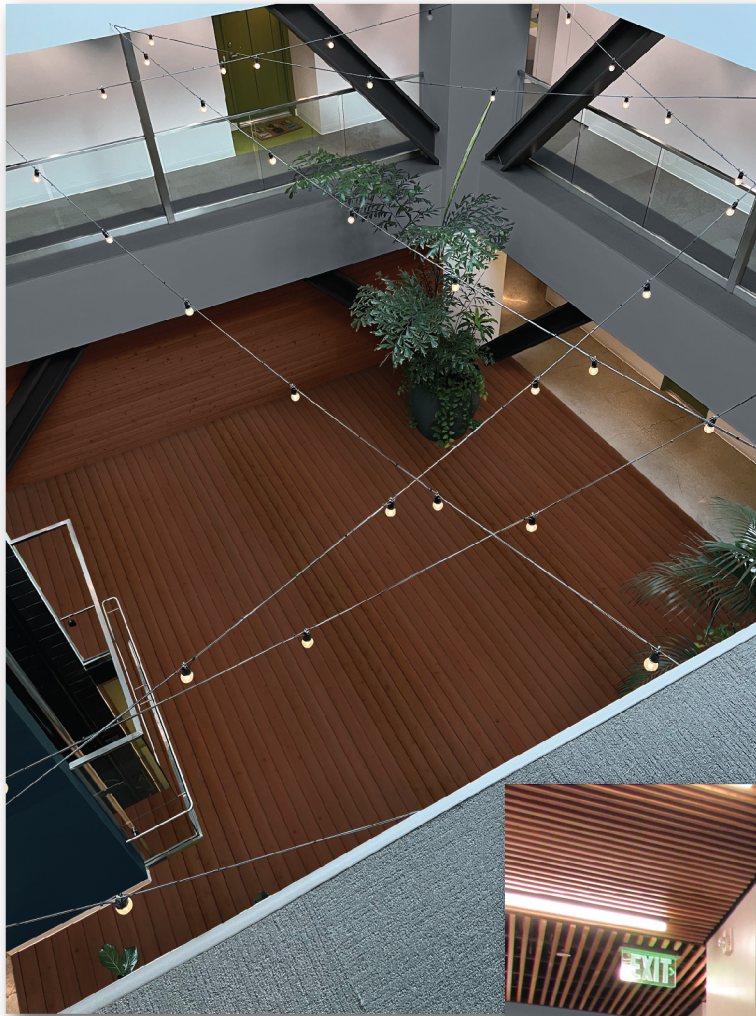
Software
SW 7074

Salty Dog
SW 9177

Tricorn Black
SW 6258



THE INDEPENDENT



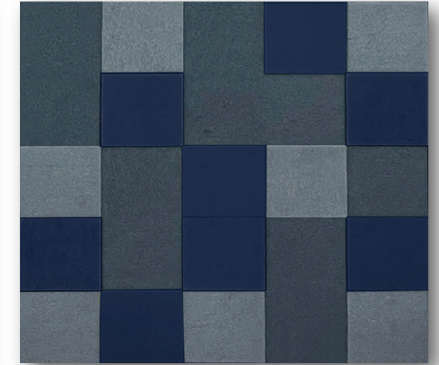
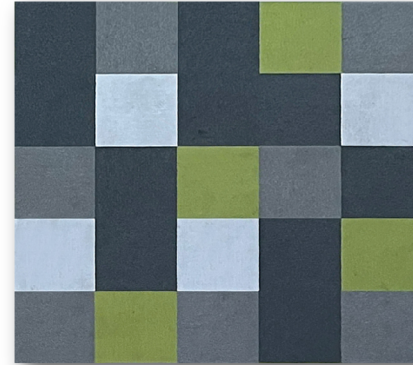
Paint

Software
SW 7074

Salty Dog
SW 9177



THE 
INDEPENDENT



THE 
INDEPENDENT

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AGENDA ITEM 3C



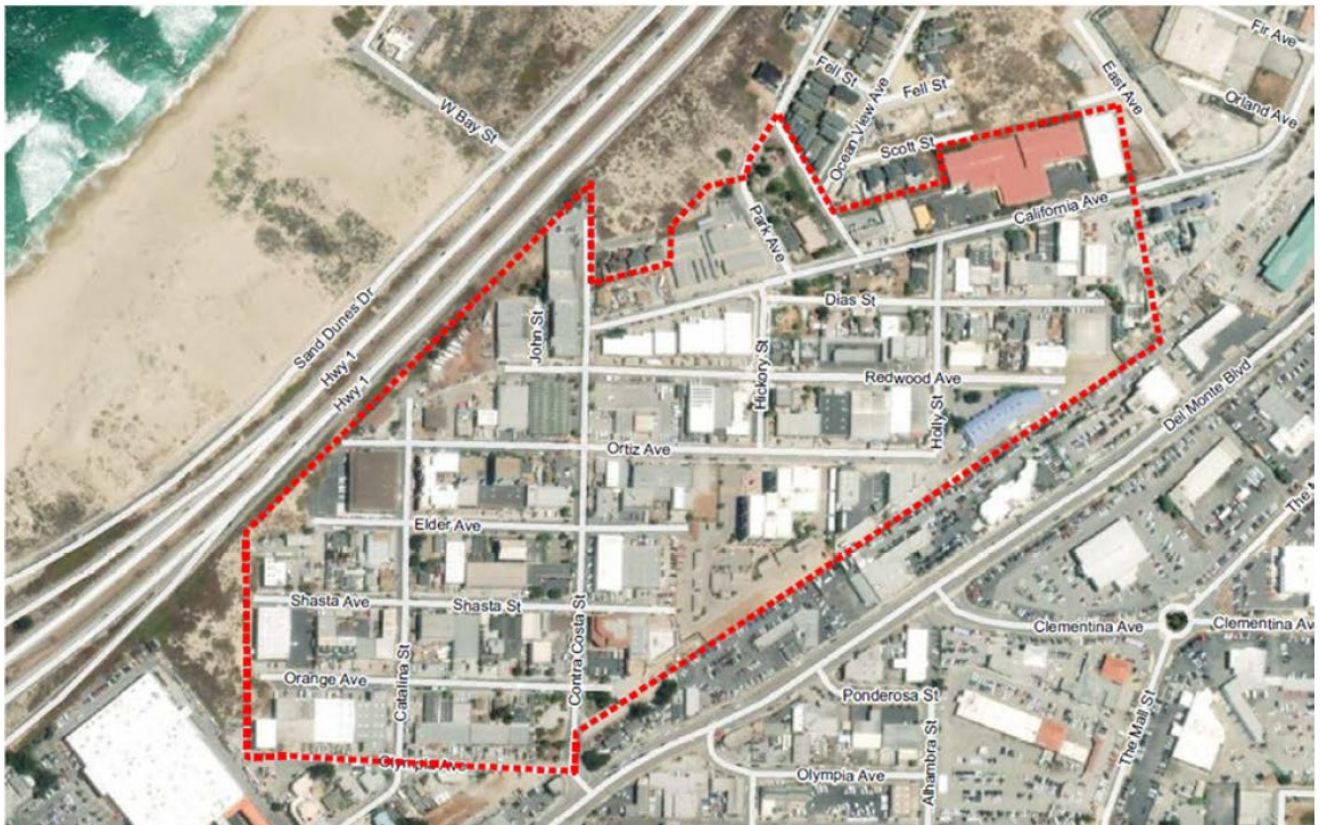
City of Sand City

STAFF REPORT

TO: Design Review Committee (DRC) Members
FROM: Zane Mortensen, City Planner
SUBJECT: Objective Design & Development Standards
DATE: **December 14th, 2023**

BACKGROUND:

Increasingly, state laws impacting local land use decisions for housing development projects leave jurisdictions with only objective, non-discretionary opportunities to influence the built environment through the local development review process. Objective Design & Development Standards (ODDS) empower local jurisdictions to determine how future housing development may be regulated. The image below is the correct extent to which the ODS would be applied.



OBJECTIVE DESIGN STANDARDS:

Objective Design Standards provide a measure of clarity and predictability for potential housing developers, and provide the community with assurance that developments will conform with measurable objective standards.

Several current and future State housing laws are intended to limit jurisdiction's discretion related to the approval or denial of multi-family housing. Design review is allowed with these state laws; however, only Objective Design Standards may be used. Following is a list of legislation examples, which are further described in the Housing Element Update staff report:

Recycled Sites from the 5th Cycle: No Conditional Use or Planned Unit Development permit processes may be required for development with at least 20% affordable units proposed at a location that was used for the past and present Housing Element Sites Inventory.

SB-35: SB-35 (Government Code Section 65913.4) allows qualifying development projects with certain minimum affordable housing to be reviewed by a ministerial approval process, only.

AB-423 (not yet adopted): This bill would expand SB-35 requirements into Coastal Zone areas.

Builders Remedy: The Housing Accountability Act allows housing project developments in cities that are not in compliance with HCD, anywhere that residential is an allowed use, at any density. For these projects, affordable housing is required and only Objective Design Standards may be applied.

Adopting Objective Design Standards furthers the City's stated and in-process development of housing policies and goals, while also empowering the City to review developments that would otherwise supersede the existing design guidelines.

CEQA:

This action does not constitute a "project" as defined by the California Environmental Quality Act (CEQA) guidelines section 15378.

FISCAL IMPACT:

There is no fiscal impact associated with this action.

RECOMMENDATION:

Staff seeks the committee's guidance and recommendation regarding the Objective Design & Development Standards Project Presentation and Questionnaire.

ATTACHMENTS:

1. Objective Design & Development Standards Project Presentation
2. Objective Design & Development Standards Questionnaire



OBJECTIVE DESIGN AND DEVELOPMENT STANDARDS PROJECT

Design Review Committee Meeting #1

December 14, 2023

QUESTIONNAIRE

Please provide your input below.

QUESTION	RESPONSE			Comments
	Yes	No	Other	
Should The ODDS be based upon:				
1. Industrial Metal Vernacular?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
2. Industrial Masonry Vernacular?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
3. Monterey Wood Vernacular?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
4. Other? e.g.; Craftsman, Spanish Colonial. (If yes, please identify)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
5. No vernacular?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____

Other Comments (write below):

Please Return to:
Anastazia Aziz, AICP
EMC Planning Group, Inc. | 601 Abrego Street | Monterey, CA 93940
aziz@emcplanning.com